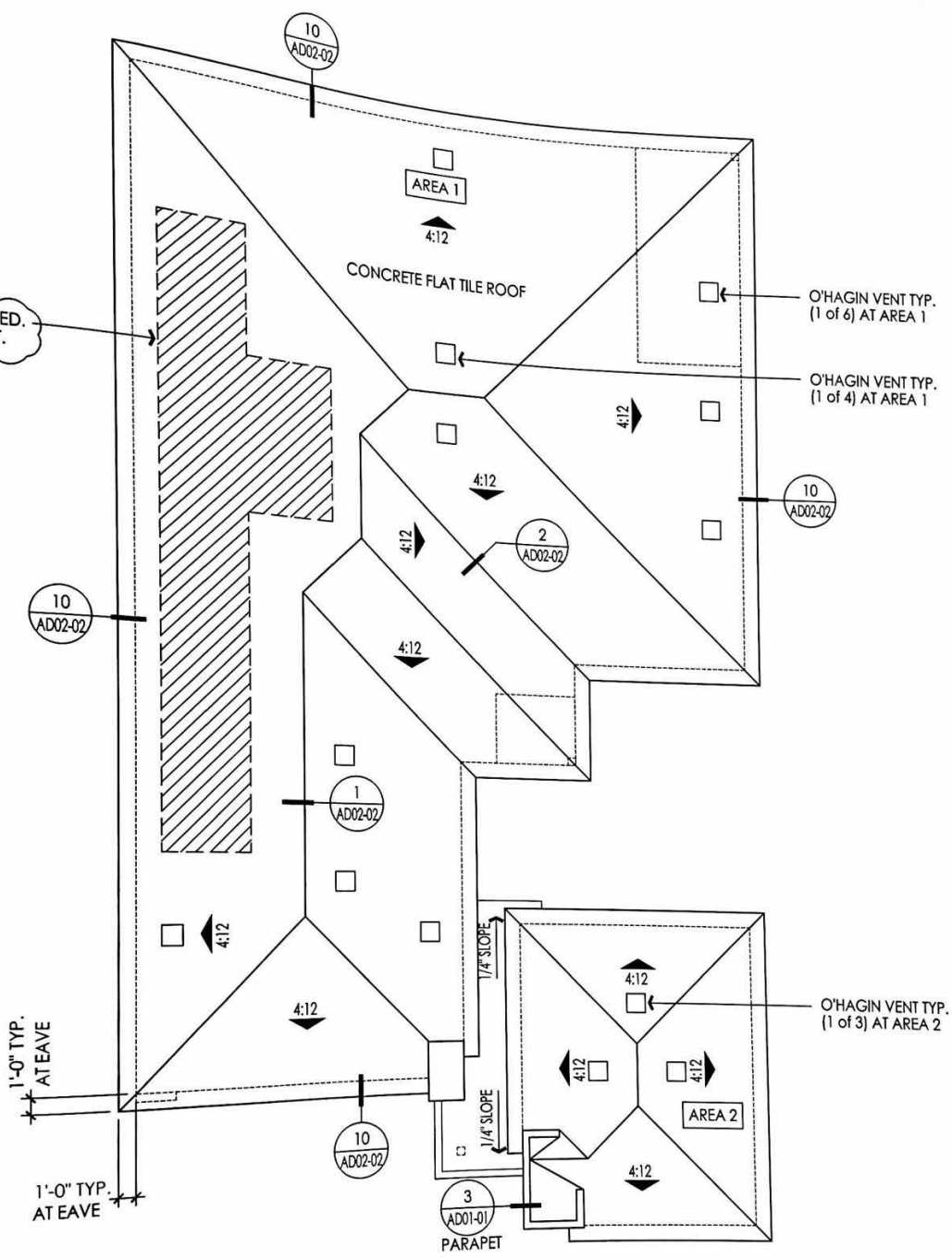


MODEL TWO

PHOTOGRAPHIC SOLAR AREA SHOWN DASHED. AREA GREATER THAN 250 SQ. FT.



ROOF PLAN AT ELEVATION 'A'

1/8" = 1'-0"

AREA 1

PLAN NOTES

PERMISSIBLE FOR FABRICATION & INSTALLATION OF GUTTERS. SUBMIT SHOP DRAWINGS CONSISTING OF ROOF PLANS, INCLUDING THE ENTIRE GUTTER & DOWNSPOUT SYSTEM TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

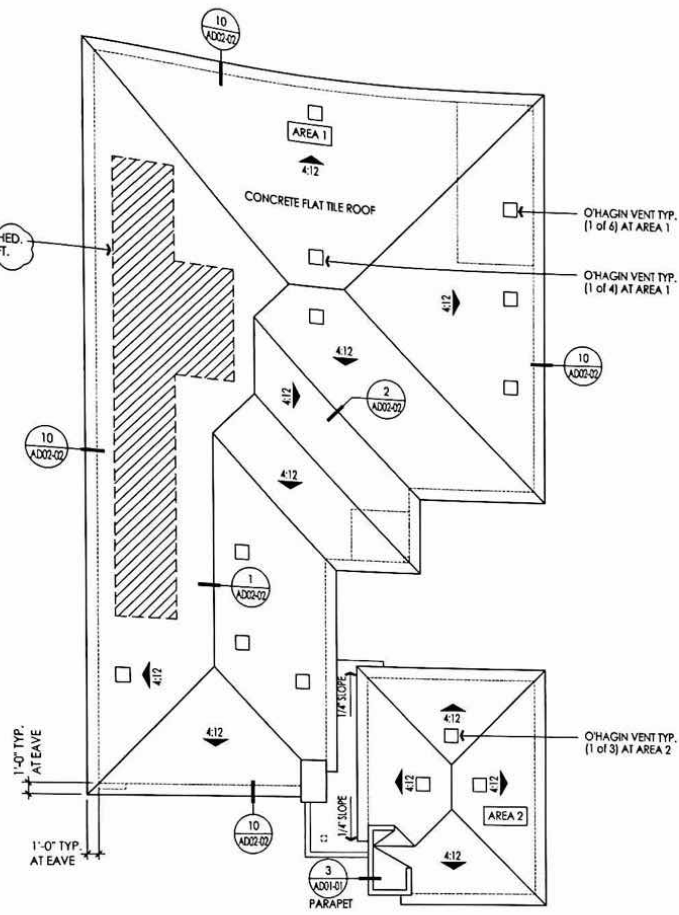
TO BE HIDDEN TO THE BEST EXTENT POSSIBLE.

REQUIRED:
PLAN TWO "A"
2010 SQ. FT. / 300 SQ. FT. = 6.70 SQ. FT. OF REQUIRED VENTILATION.

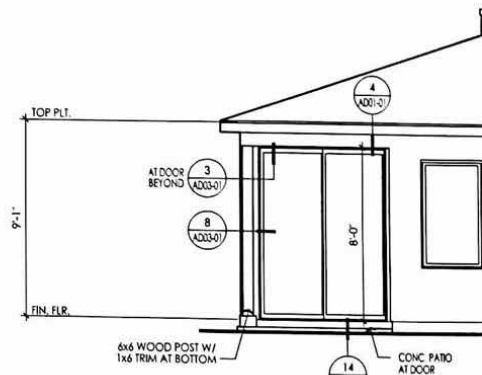
SHOWN:
VENTILATION PROVIDED HIGH:
ROOF VENT(S) = 4 @ .69 SQ. FT. EA. = 2.76 SQ. FT.
CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT.
VENTILATION REQUIRED

VENTILATION PROVIDED LOW:
ROOF VENT(S) = 6 @ .69 SQ. FT. EA. = 4.14 SQ. FT.

SOLAR AREA SHOWN DASHED. AREA GREATER THAN 250 SQ. FT.



ROOF PLAN AT ELEVATION 'A'
1/8" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

PLAN NOTES

FOR FABRICATION & INSTALLATION OF GUTTERS AT SHOP DRAWINGS CONSISTING OF ROOF PLANS, ENTIRE GUTTER & DOWNSPOUT SYSTEM TO BE REVIEWED AND APPROVED PRIOR TO INSTALLATION.

INTO AREA DRAINS. SEE PRECISE GRADING PLAN. HIDDEN TO THE BEST EXTENT POSSIBLE.

HALL ALLOW FOR SERVICE ACCESS TO THE ATTIC (WHERE APPLICABLE)

FORMER VENTS SHALL BE LOCATED NO CLOSER THAN 2 FEET OR 2 TILE COURSES AWAY FROM RIDGES, HIP

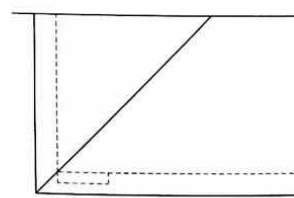
VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE ROOF.

FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE ROOF OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

1. A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE CEILING.

2. MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER PORTION OF THE ROOF.

AREA 1	
REQUIRED:	PLAN TWO "A" 2010 SQ. FT. / 300 SQ. FT. = 6.70SQ. FT. OF REQUIRED VENTILATION.
SHOWN:	VENTILATION PROVIDED HIGH: ROOF VENT(S) = 4 @ 69 SQ. FT. EA. = 2.76 SQ. FT. CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT. VENTILATION REQUIRED = 2.68 - 3.35 SQ. FT.
	VENTILATION PROVIDED LOW: ROOF VENT(S) = 6 @ 69 SQ. FT. EA. = 4.14 SQ. FT. CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT. TOTAL VENTILATION SHOWN = 6.90 SQ. FT.
AREA 2	
REQUIRED:	PLAN TWO "A" 300 SQ. FT. / 150 SQ. FT. = 2.00SQ. FT. OF REQUIRED VENTILATION.
SHOWN:	VENTILATION PROVIDED: ROOF VENT(S) = 3 @ 69 SQ. FT. EA. = 2.07 SQ. FT. CLOAKED ROOF VENT(S) = 2.07 SQ. FT.
	TOTAL VENTILATION SHOWN = 2.07 SQ. FT.



ROOF PARAPET
1/4" = 1'-0"

VENTILATION NOTES

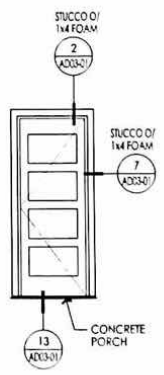
STANDARD LINE" OR CLIENT APPROVED EQUAL

OR CLIENT APPROVED EQUAL

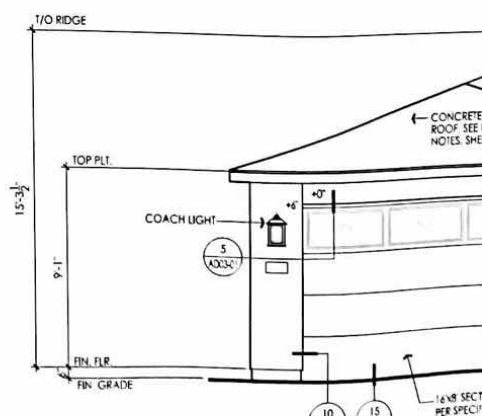
(NFVA): 98.75 SQ. IN. (.69 SQ. FT.)

FUTURE SOLAR ZONE NOTES

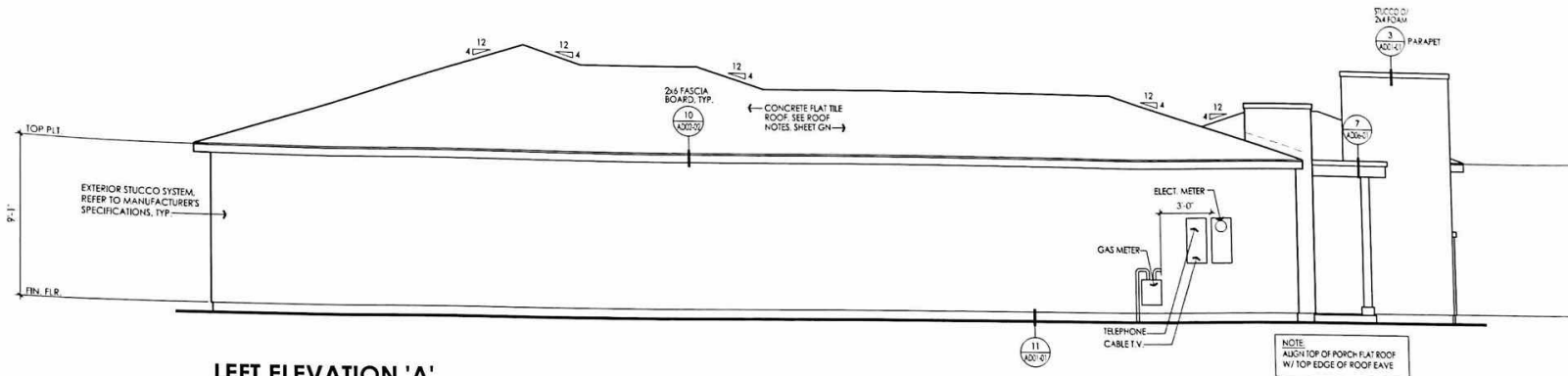
- SOLAR ROOF ZONE(S) SHALL COMPLY TO GREEN BUILDING ENERGY EFFICIENCY CODE.
- TOTAL SOLAR ROOF ZONE AREA SHALL BE GREATER THAN 250 SQ. FT.
- SOLAR ROOF ZONE FOR INDIVIDUAL HOME SHALL BE ORIENTED BETWEEN 110° TO 270° OF TRUE NORTH.
- SOLAR ROOF ZONE SHALL BE FREE OF OBSTRUCTION AND SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION. MAINTAIN 3'-0" CLEARANCE FROM ALL ROOF RIDGES AND 1'-6" FOR ALL HIP, VALLEYS, EAVES, AND RAKES. ALL VENTING AND PENETRATIONS SHALL BE RELOCATED OUT OF SOLAR ZONE WHEN SOLAR HAS BEEN CHOSEN.
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END OF THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".
- PROVIDE PATHWAY FOR ROUTING PLUMBING FROM SOLAR ZONE TO WATER HEATING SYSTEM.
- PROVIDE PATHWAY FOR ROUTING CONDUIT FROM SOLAR ZONE TO MAIN ELECTRICAL SERVICE PANEL.



FRONT DOOR 'A'

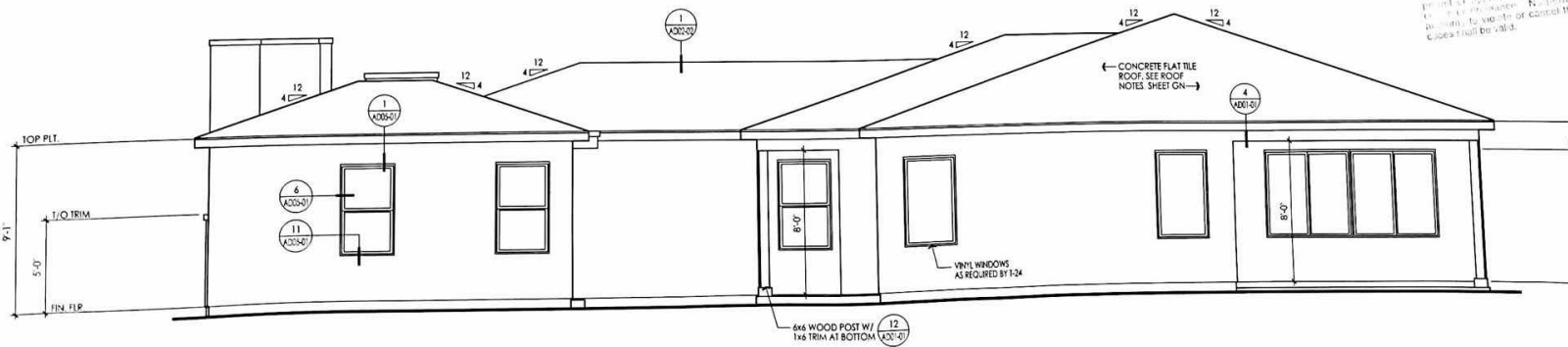


FRONT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION 'A'

1/4" = 1'-0"

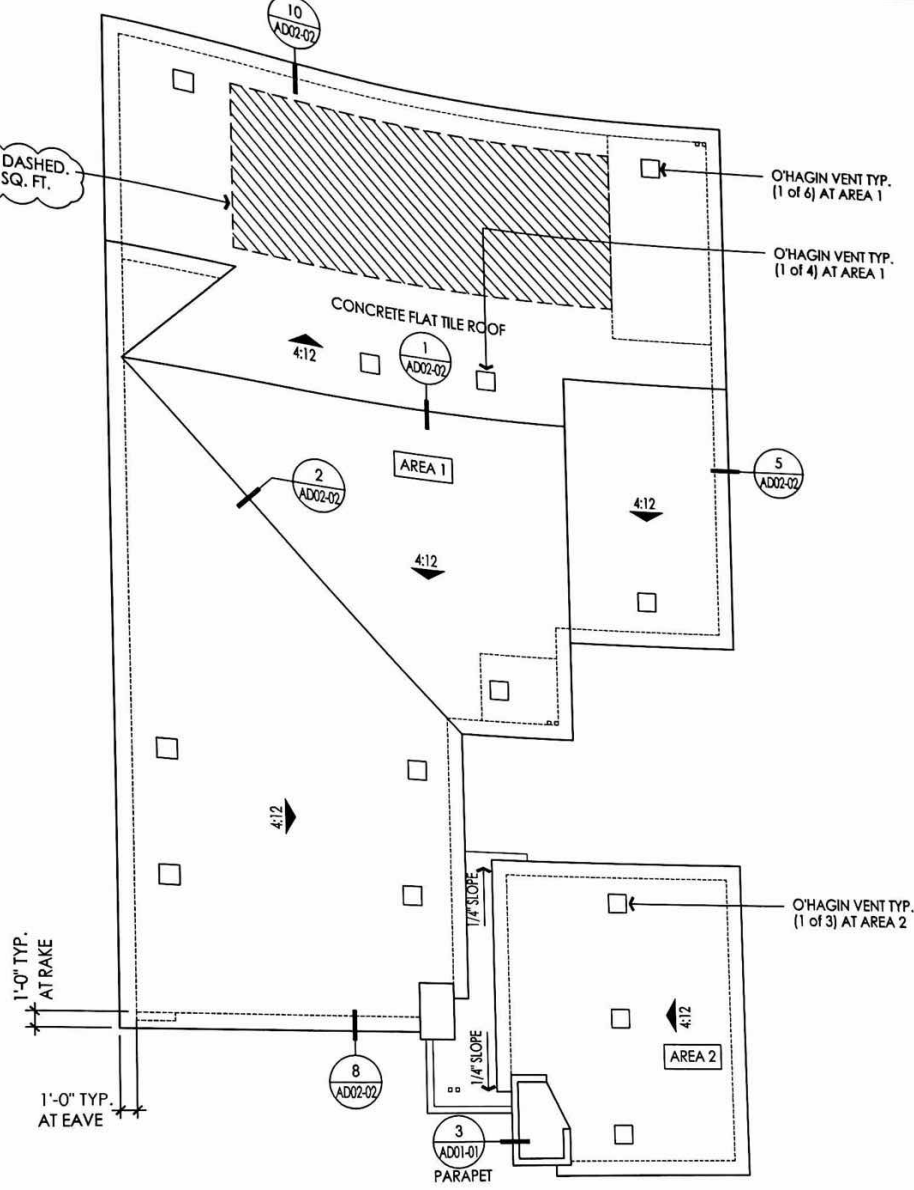


RIGHT ELEVATION 'A'

1/4" = 1'-0"

APPROVED
FOR THE CITY OF PHOENIX
COTTAGE HILLS & VALLEY-11A
DATE: _____
The architect has based this drawing on the information furnished and is not responsible for any errors or omissions. It is the responsibility of the client to verify the accuracy of the information furnished. The architect is not responsible for any errors or omissions in the construction of the project.

FUTURE SOLAR AREA SHOWN DASHED. PROVIDE GREATER THAN 250 SQ. FT.



ROOF PLAN AT ELEVATION 'B'

1/8" = 1'-0"

IN ACCORDANCE WITH SECTION 1905.00

ROOF PLAN NOTES

1. VERIFY THE FABRICATION & INSTALLATION OF GUTTERS WITH SHOP DRAWINGS CONSISTING OF ROOF PLANS, ELEVATIONS, AND SECTION CUTS. JOINING THE ENTIRE GUTTER & DOWNSPOUT SYSTEM TO THE MAIN DRAINAGE SYSTEM FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

2. ALL DRAINS SHALL DRAIN INTO AREA DRAINS, SEE PRECISE GRADING PLAN.

3. ALL ROOF VENTS SHALL BE HIDDEN TO THE BEST EXTENT POSSIBLE.

4. ALL ROOF VENTS SHALL ALLOW FOR SERVICE ACCESS TO THE ATTIC SPACE, (WHERE APPLICABLE)

5. ALL ROOF VENTS SHALL BE LOCATED NO CLOSER THAN 12" TO THE EAVE OR 2 TILE COURSES AWAY FROM RIDGES, HIP RIDGES, OR PARAPETS.

6. THE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE ROOF.

7. THE FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE ROOF OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

8. A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE CEILING.

9. MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MEANS OF MECHANICAL VENTILATORS LOCATED IN THE UPPER PORTION OF THE ROOF.

10. SEE SECTION 1905.00 FOR MECHANICAL VENTILATION REQUIREMENTS.

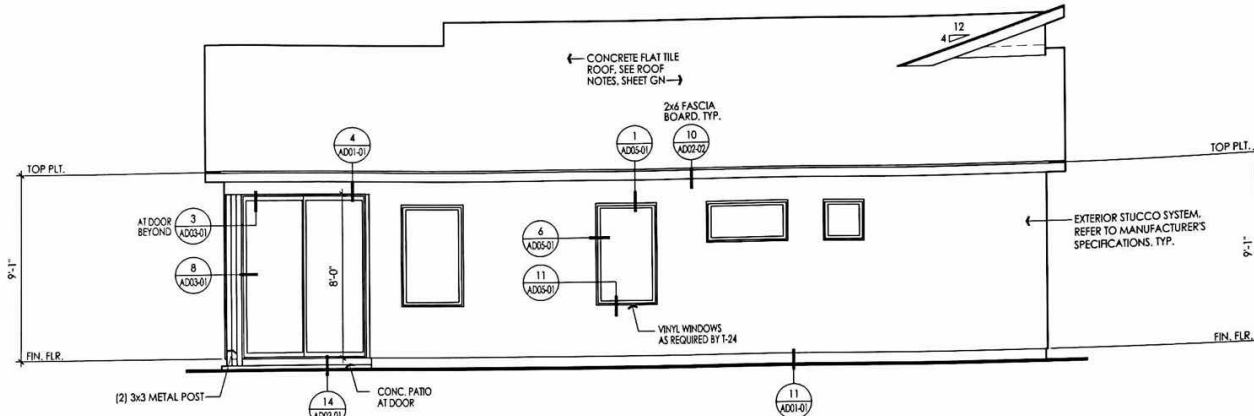
AREA 1	AREA 2
<p>REQUIRED: PLAN TWO "B" 2010 SQ. FT. / 300 SQ. FT. = 6.70 SQ. FT. OF REQUIRED VENTILATION.</p> <p>SHOWN: VENTILATION PROVIDED HIGH: ROOF VENT(S) = 4 @ .69 SQ. FT. EA. = 2.76 SQ. FT. CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT. VENTILATION REQUIRED = 2.68 - 3.35 SQ. FT.</p> <p>VENTILATION PROVIDED LOW: ROOF VENT(S) = 6 @ .69 SQ. FT. EA. = 4.14 SQ. FT. CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT. TOTAL VENTILATION SHOWN = 6.90 SQ. FT.</p>	<p>REQUIRED: PLAN TWO "B" 300 SQ. FT. / 150 SQ. FT. = 2.00 SQ. FT. OF REQUIRED VENTILATION.</p> <p>SHOWN: VENTILATION PROVIDED: ROOF VENT(S) = 3 @ .69 SQ. FT. EA. = 2.07 SQ. FT. CLOAKED ROOF VENT(S) = 2.68 - 3.35 SQ. FT.</p>

TOP PLUMB LINE
9'-1"
FIN. FLOOR



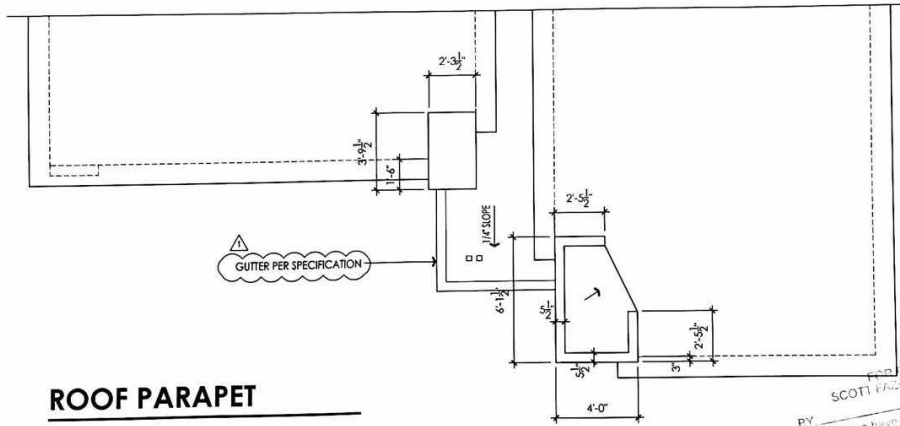
colorado
 731 South Park Dr., Suite B
 Littleton, Colorado 80120
 V. 303.683.7231 F. 303.683.2922

california
 2943 S. Pullman Street, Suite A
 Santa Ana, California 92705
 V. 949.553.8919 F. 949.553.8909



REAR ELEVATION 'B'

1/4" = 1'-0"



ROOF PARAPET

1/4" = 1'-0"

APPROVED FOR PERMIT SUBMITTANCE
 SCOTT PALMER & ASSOCIATES INC.
 DATE: _____

BY: _____
 These plans have been reviewed for reference to the applicable codes and standards. Authorization is hereby granted to the contractor to proceed with the construction of the project, provided that the contractor complies with all applicable codes and standards. No permit shall be issued until the plans are approved by the appropriate authority. The issuance of a permit based on these plans does not constitute a warranty of any kind, and the contractor shall be responsible for any violation of the applicable codes and standards. No permit shall be issued until the plans are approved by the appropriate authority. The issuance of a permit based on these plans does not constitute a warranty of any kind, and the contractor shall be responsible for any violation of the applicable codes and standards.



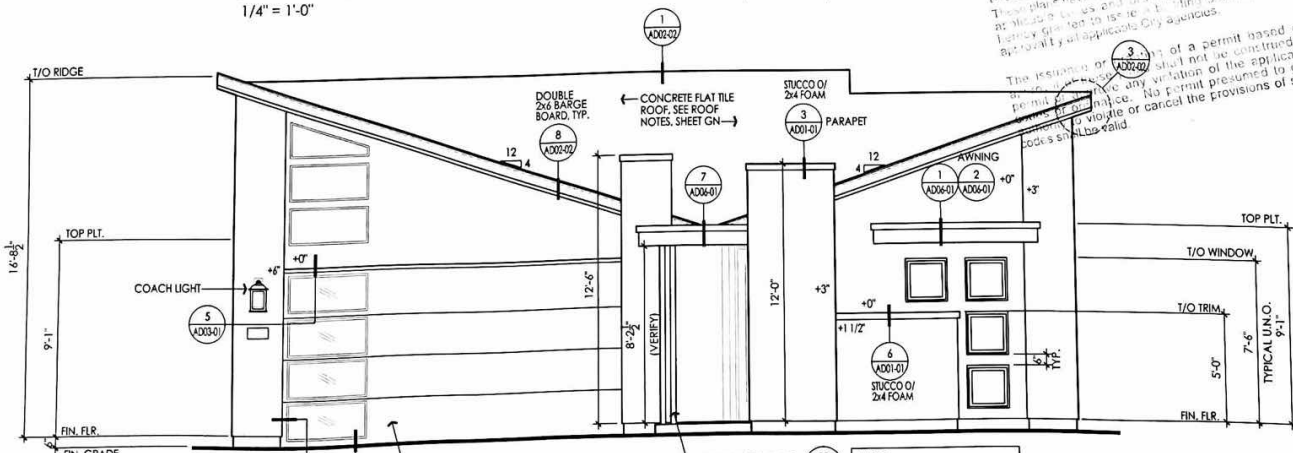
PROJECT NO.: _____

DRAWN BY: _____

DATE: _____

FIRST ISSUE: _____

100% SUBMITTAL	05/21/17
PLAN CHECK REVISIONS	08/08/17
PLAN CHECK REVISIONS	10/15/17



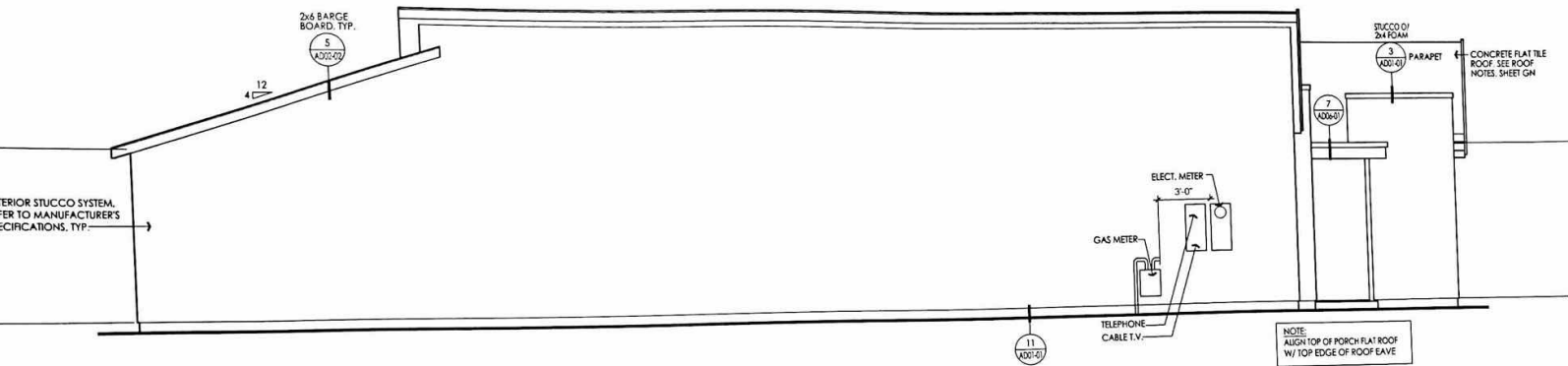
FRONT ELEVATION 'B'

1/4" = 1'-0"

PLAN NUMBER
TWO
 SHEET NUMBER
A2-B5-0

CO OF
 7
 00301

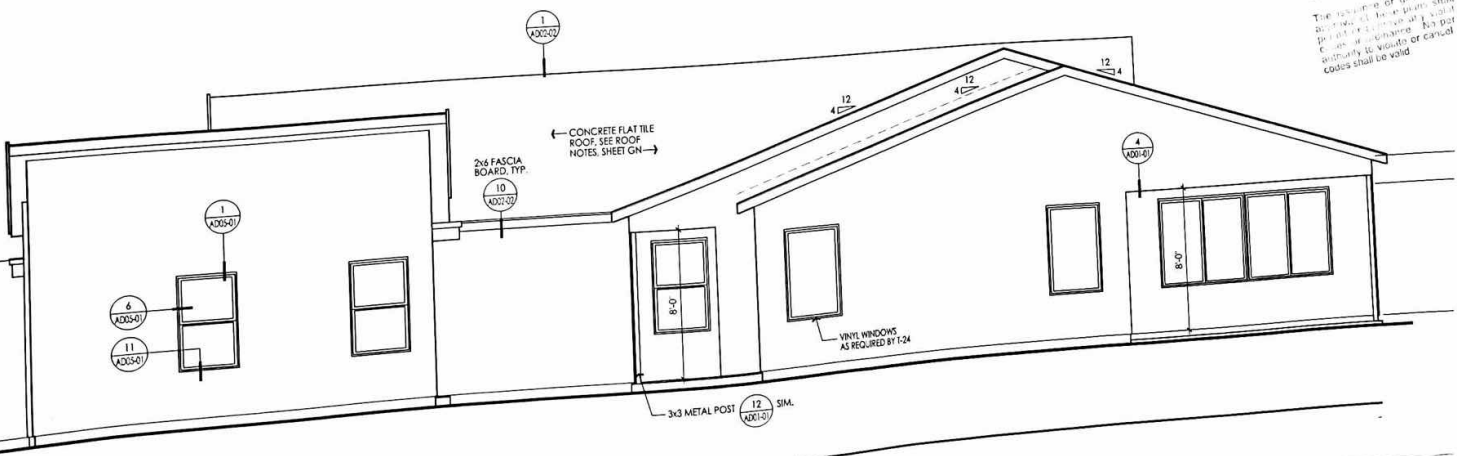
TE



LEFT ELEVATION 'B'

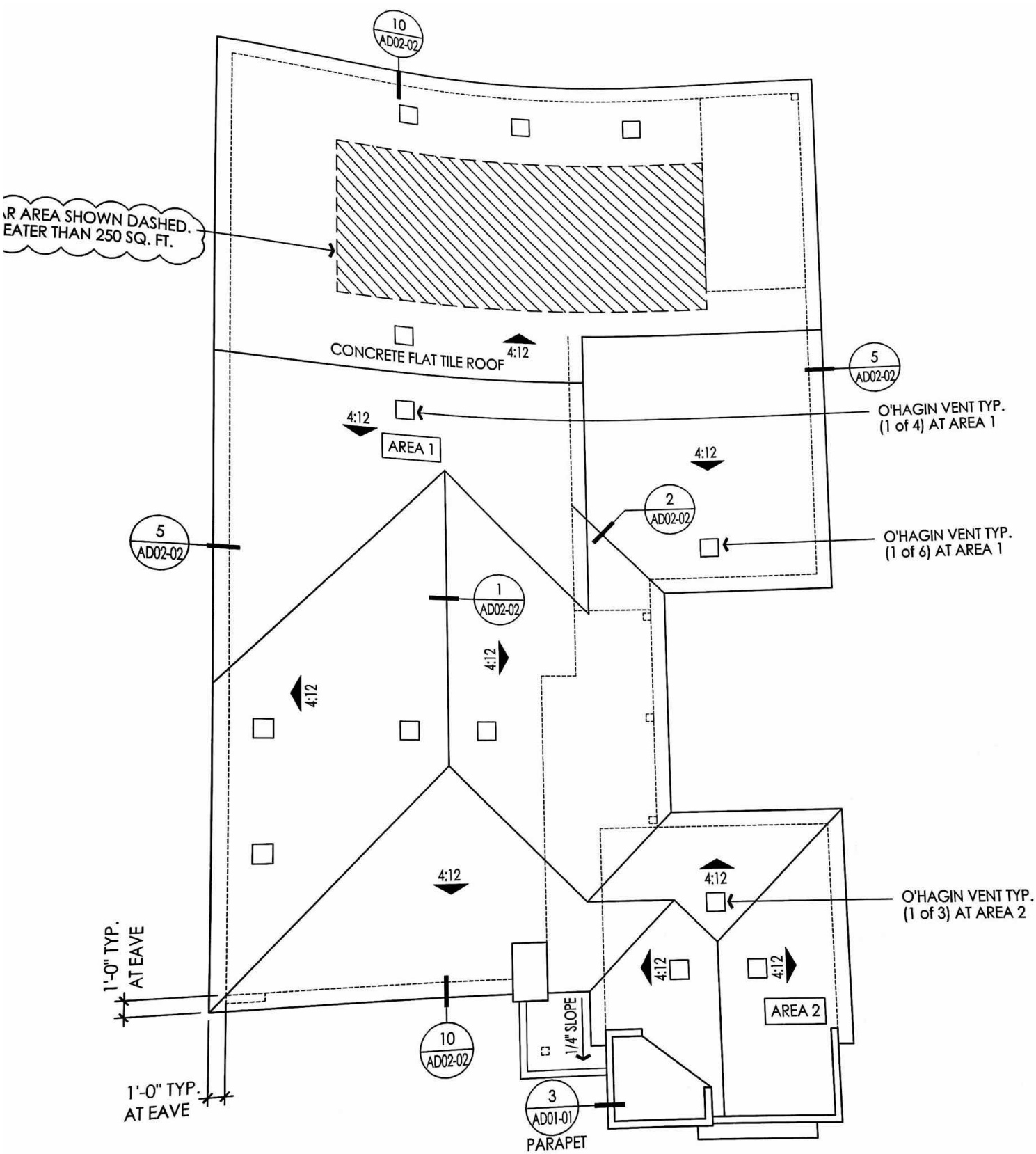
1/4" = 1'-0"

APPROVED FOR PERMIT BY: SCOTT FANEKAS & ASSOCIATES DATE: _____
 BY: _____ DATE: _____
 This drawing is not to be used for any other project without the written consent of the architect. The architect's liability shall be limited to the project and shall not extend to any other project. The architect's liability shall be limited to the project and shall not extend to any other project.



RIGHT ELEVATION 'B'

1/4" = 1'-0"



ROOF PLAN AT ELEVATION 'C'

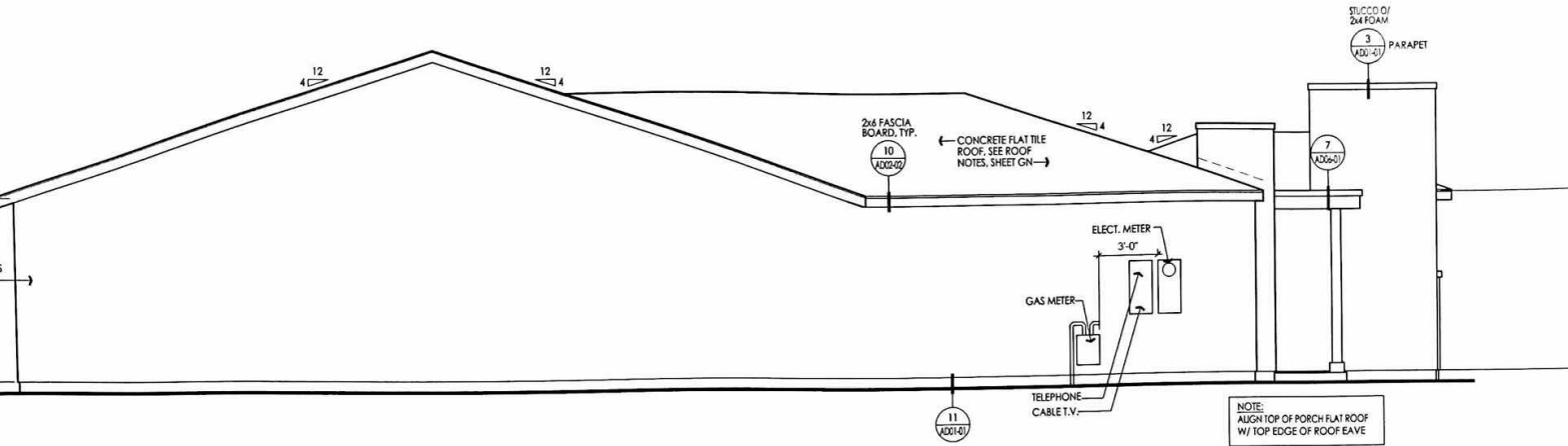
1/8" = 1'-0"

AREA 1

NOTES

LOCATION & INSTALLATION OF GUTTERS
BASED ON THE FOLLOWING OF ROOF PLANS,
SYSTEM TO

REQUIRED:
PLAN TWO "C"
2010 SQ. FT. / 300 SQ. FT. = 6.70 SQ. FT.
OF REQUIRED VENTILATION.



LEFT ELEVATION 'C'

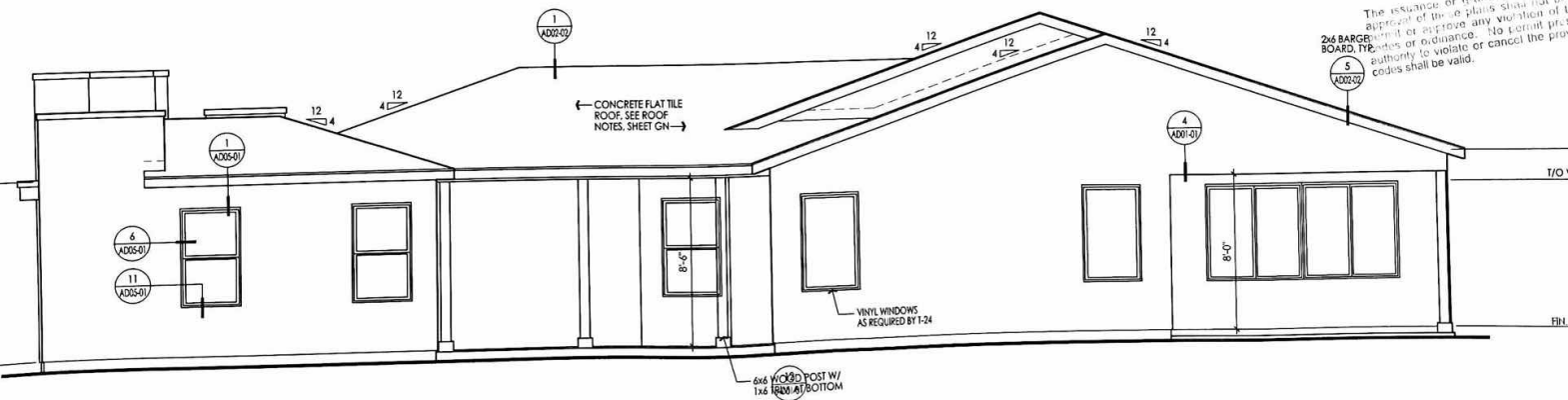
1/4" = 1'-0"

APPROVED FOR PERMIT ISSUANCE
SCOTT FAZERAS & ASSOCIATES

BY _____ DATE _____

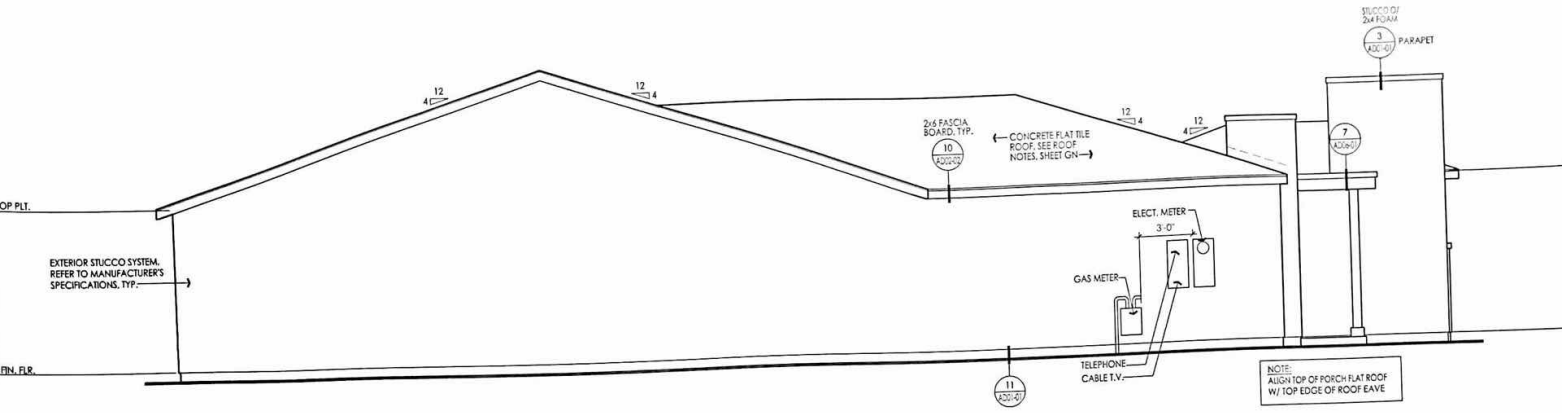
This plan has been reviewed for compliance with applicable codes and ordinances. A permit is hereby granted to issue a building permit subject to approval by all applicable City agencies.

The issuance or granting of a permit does not constitute approval of the plans shown. It is the responsibility of the applicant to approve any violation of applicable codes or ordinances. No permit shall be used to violate or cancel the provisions of any applicable City codes.



RIGHT ELEVATION 'C'

1/4" = 1'-0"



LEFT ELEVATION 'C'

1/4" = 1'-0"



RIGHT ELEVATION 'C'

1/4" = 1'-0"

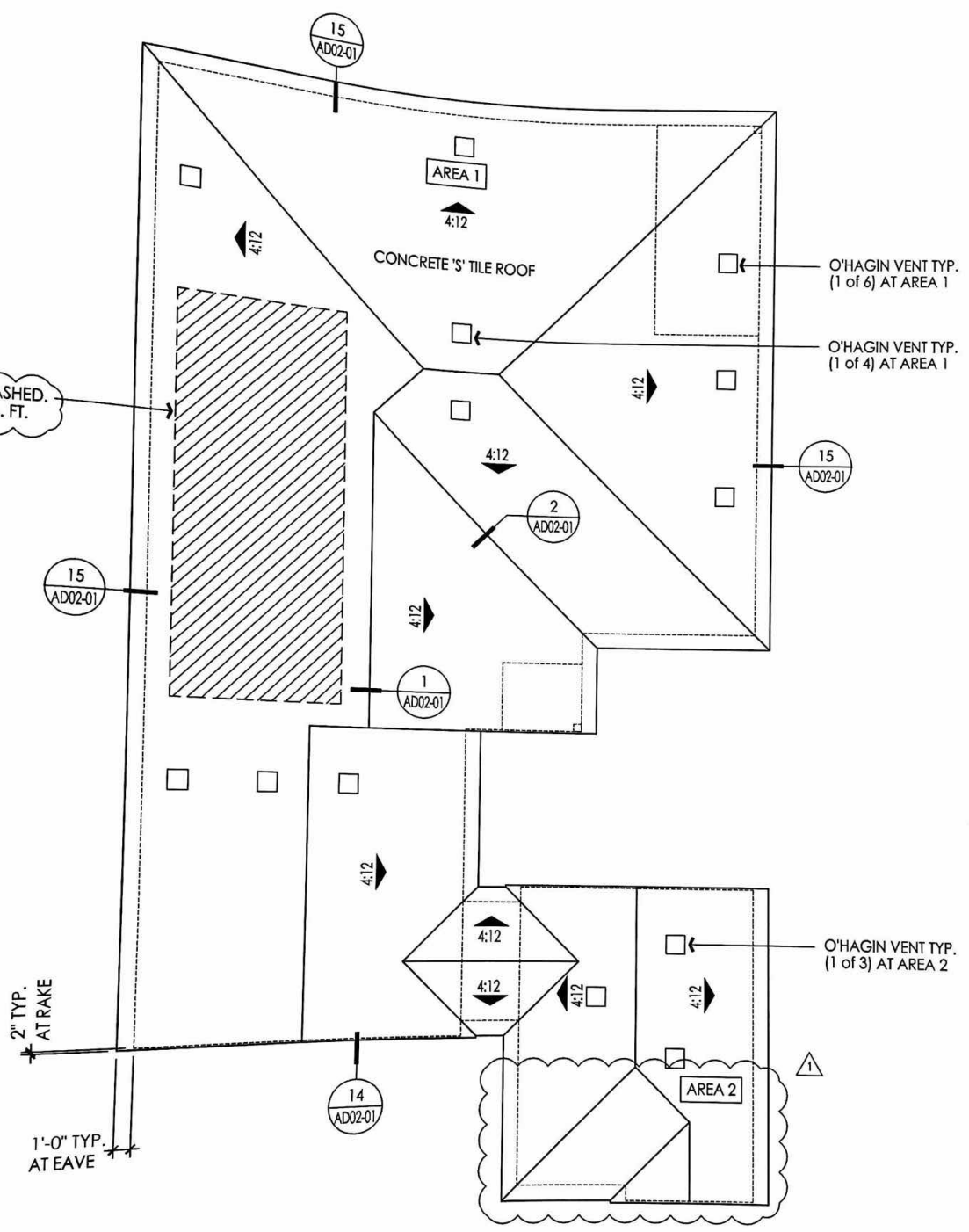
APPROVED
FOR PERMIT ISSUANCE
SCOTT FAZEKAS & ASSOCIATES

BY: [Signature] D.V.E.
These plans have been reviewed for a
This is to certify and certify that
This is to certify and certify that
This is to certify and certify that

The issuance or granting of a
approval of these plans shall not
apply to or approve any violation
of any codes or ordinance. No permit
authority to violate or cancel the
codes shall be valid.

2x6 BARGE BOARD, TYP.

SOLAR AREA SHOWN DASHED.
 GREATER THAN 250 SQ. FT.



ROOF PLAN AT ELEVATION 'D'

1/8" = 1'-0"

RDANCE

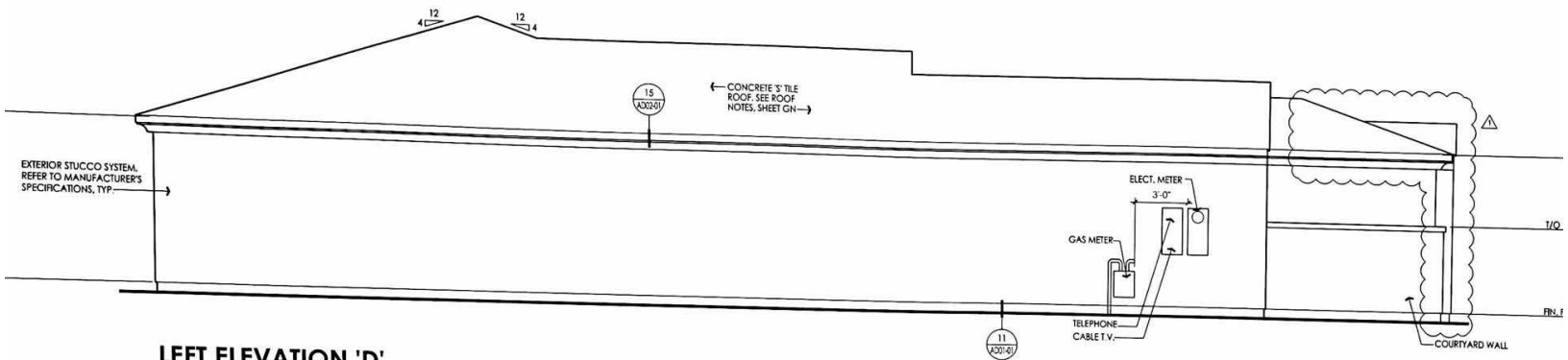
PLAN NOTES

FOR FABRICATION & INSTALLATION OF GUTTERS
 UP DRAWINGS CONSISTING OF ROOF PLANS,
 THE ENTIRE GUTTER & DOWNSPOUT SYSTEM TO
 REVIEW AND APPROVAL PRIOR TO

AREA 1

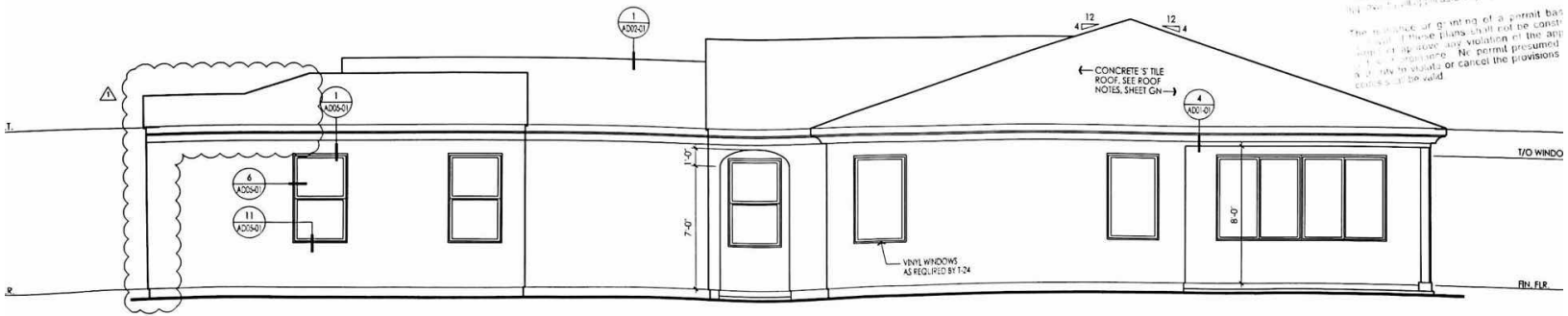
REQUIRED:
 PLAN TWO "D"
 2010 SQ. FT. / 300 SQ. FT. = 6.70 SQ. FT.
 OF REQUIRED VENTILATION.

SHOWN: VENTILATION PROVIDED HIGH:



LEFT ELEVATION 'D'

1/4" = 1'-0"



RIGHT ELEVATION 'D'

1/4" = 1'-0"

APPROVED
FOR PERMIT ISSUANCE
SCOTT FAZEKAS & ASSOCIATES INC.
DATE _____
BY _____
The issuance of a permit based on these plans shall not be construed as a violation of the any provisions of the code. The permit is void if it is not used within the time specified or if it is not used in accordance with the provisions of the code.